

# MORRISBURG WATERFRONT 'PHASE I' CONCEPT PLAN: **FINAL REPORT**

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**THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH CORRESPONDING APPENDIX DOCUMENT**

# 1. INTRODUCTION

The revitalization of the Morrisburg Waterfront has been gestating for years. There is recognition in South Dundas that this is a valuable and treasured place that could be an even stronger asset to the community, both from a quality of life perspective and an economic development perspective. This Concept Design for Phase One asserts this thinking and leverages the synergies of improving quality of life and improving economic development as they work to enhance each other.

This concept design work builds upon the previous Vision Plan and Pre-Feasibility Reports. The entire Waterfront Park area is approximately 50 acres, including Earl Baker Park. This design recognizes a full-park vision but is the design for only Phase One, which is the west portion and is comprised of about 21 acres. Phase Two design will complete the vision in the eastern portion. The line between the two phases is defined by the proposed work for Phase One, including the axis of Sir James Morris Drive and Sir James Morris Walk, the immediately adjacent facilities (existing and proposed) to this axis, including the west portion of Earl Baker Park, and the immediately adjacent infrastructure (such as drainage and pathways) to functionally connect these facilities. Refer to site map drawing ASK-03 which identifies this.

It is important to read this illustrated text in conjunction with viewing the set of concept design drawings attached, to follow along for convenience and clarity. This includes the ASK series which incorporates the mandated architectural, planning, landscape and some engineering concept designs. This is the final submission in fulfilling the requirements of the RFP, as directed by the Municipality of South Dundas.

It is also advisable to read this concept design submission with the Pre-Feasibility Report prepared by the consultants prior to undertaking the concept design.



Figure 1 - Waterfront Plaza looking southwest

# 2. DESCRIPTION OF PROJECT DESIGN CONCEPT

The design concept seeks to create a strongly-connected and inviting place with simple components to the composition that are in harmony with the history, local materials, and identity of the community. At the same time a new dynamic was sought where the Park could become a landmark in the Region and a very special amenity place for residents with a broad range of appeal. As well, it is intended that the design would foster wider use in four seasons and in evenings, as well as the prime times of daytime and fair-weather months.

The design specifically addresses how people arrive, move through and experience the place. The facilities are organised to take into consideration both local use and tourist use, and the environment is enhanced with trees and gently improved green spaces, with pedestrian and bicycle use (and therefore community wellness) prioritized over vehicular use, but vehicles are still very well accommodated. The design concept starts to address sustainability through improved drainage, recycling, education and additional tree plantings. It is expected that the second phase will further refine sustainability.

Building upon the resources already on site, the Waterfront Advisory Committee's Vision Plan and the Concept Design Team's pre-Feasibility Report findings, the project design concept is focussed on six design principles:

- **Strong Visible Arrival Identity**
- **"Pathways" for Community Connectivity**
- **Framework for Overall Park Continuity**
- **Suite of Waterfront Landmarks**
- **"Forecourts" for Key Built Elements**
- **Water Access and "Window on the River"**

## 2.1. Strong Visible Arrival Identity

The dominant (but not only) means of arrival, to the Morrisburg Waterfront and symbolic "end of the line" in South Dundas, is moving south along Ottawa Street to the River. This historic route originates from the Parliament Buildings on the Ottawa River and travels to Morrisburg on the St. Lawrence River.

To give a sense of place, there is a design emphasis on this important arrival function in several ways: a series of pole standards with "welcome banners" announces that one is arriving at something special as one approaches from the north. The vertical alignment and placement of the banners frames the existing powerful view to the water. This is enhanced by the presence of a complementary focal point at the waters edge, a Tower element marking where this "end of the line" meets the St. Lawrence, that fundamental part of Morrisburg. This Morrisburg Lookout Tower celebrates Morrisburg's place on the Seaway, provides strong visibility from both land and water, and highlights the very important boat launch facility adjacent. More about the Tower and Boat Launch is in the Elements Description Section below.

The inviting series of view-framing banner-poles, combined with the Lookout Tower and the adjacent Orchard and Welcome Centre (see below), and new tree plantings, provides a strong, symbolic, visible sense of arrival (and a sequential experience leading up to the arrival) at the Morrisburg Waterfront.



Figure 2 - Arrival to Welcome Building and Waterfront Area

## 2.2. “Pathways” for Community Connectivity

The Waterfront Park is intended to be a key feature of the community, but also an integrated and connected part of the community. To achieve this connectivity, three key elements are designed to improve pathways connecting the Park to the broader community (more details on each in Elements Description Section below):

- As one heads east toward the Park, the new Welcome Center is visible at the end of Lakeshore Drive and “beckons” with an upturned roof element, and acts as a well-lit place of comfort during the evening as well as during the day;
- The Ottawa Street axis is enlivened and enhanced with focussed views to the Waterfront, and a banner series announcing and welcoming all to the Waterfront Park from Highway #2 down. Combined with appropriate plantings, greenery and signage, this axis is a very strong path to the Waterfront from the entire community and beyond, and carries the arrival sequence past important Town facilities such as the Municipal Hall and Arena between the highway and waterfront;
- Sir James Morris Drive is enhanced to provide important connectivity from the water to the commercial heart of the Municipality and gives further meaning and a sense of place to the Town and its Waterfront Park. The street’s south termination is celebrated with the Sir James Morris Walk, a shaded tree-lined pathway, and the Sir James Morris Tower, a “folly” element that overlooks the river and contains an artifact related directly to the north termination of Sir James Morris Drive, the bell tower at the Plaza which contains the historic bell donated to the Town by its namesake in 1864. This improvement is complemented by additional park-side vehicle parking directly beside the adjacent facilities



Figure 3 - Approximation to Welcome Centre from Lakeshore Drive

## 2.3. Framework for Overall Park Continuity

Although the main, or most dense, activity area will be the west side of the Park, it is a large and diversified resource that contains many existing and proposed new additional elements. It is therefore important to have some frame of reference that supports this diversity while providing a sense of commonality. The Design Team has understood that in the effort to maintain simplicity and to support convenient circulation within the whole 50 acres, the optimal “framework” for continuity is the pattern of pathways, walkways, plazas and promenades itself, combined with its associated heritage interpretive, nature interpretive, furnishing and way-finding programs (more on these below). Also, vehicular parking has been designed to be spread throughout the Park, off the existing streets that border and cross it, which further supports convenient circulation.

Morrisburg has many impacts upon its overall character as a Town. There is not a single identity or “look” to the Town that identifies as Morrisburg. The contemporary and the Victorian mix together with a host of other character types. The Seaway intervention disrupted a sense of continuity. The revitalized Waterfront cannot change that, but it can be a cohesive, connected place and can derive its character from first principles of the “DNA” or make-up of the Town and County. This is, among other things, a Municipality with good strong rural roots and a tight connection with the River.

Picking up on these facts, the overarching design for the coordinated new site furnishings and buildings and feature elements for the entire Waterfront Park will be simple vernacular and local materials, using rural, natural and nautical elements and themes. These are themes that speak to “sense of place” and are a good fit for Morrisburg and South Dundas. This will provide a sense of “authenticity” for the Waterfront.

## 2.4. Suite of Waterfront Landmarks

Further adding to overall Park continuity, the important “landmark” element is actually designed as a “suite” of elements, Tower Follies, which add to the Beach Pavilion and Lions Club Pavilion shore buildings, adorn and demarc the shoreline along the Shoreline Promenade, and help to tie the distant areas of the Park together. They would also be lit in an appropriate manner that provides “beacons” at these nodes in the evening. Each of these simple, open-framed Follies (see more below) also has a different function:

- The largest, the Morrisburg Lookout Tower, is a “climbing tower” for youngsters and adults, which is the main arrival and “signature” element of the Ottawa Street arrival axis. This facility allows Park visitors to get up high above the waterfront to get a good gaze upon distant shores & passing ships and wave to tour boats arriving or departing the Dock.



Figure 4 - Waterfront Landmarks: The Look-out Tower

- The next largest, the Sir James Morris Tower, is a “commemorative tower” that also terminates an axis. It contains or shelters an important community artifact related to the Town’s namesake and marks a pivotal point in the Park’s Heritage Interpretive Program and in the Sir James Morris Walk feature.
- The next in the family is a more junior folly tower, the future Fisher’s Tower which pays homage to the St. Lawrence River, its flora and fauna and the ecosystems that support it. It is joined with the future Fisher’s Wharf, a facility that allows fishers to enjoy their pastime away from beach swimmers and boat dockers. It also marks a pivotal point in the Park’s Natural World Interpretive Program.

## 2.5. “Forecourts” for Key Built Elements

Where built facilities are designed into the Park, they are intended to be very transparent and integral with the enjoyment of the green space and water. They are intended, in effect, to be “moved through” and extensions of the Park in the sense of walking in, on and over them (see more below). To support this concept, it is important to “give them space” and to assist them with creating “special people-friendly places”. So the design solution incorporates “forecourts” around the Welcome Centre, the Lookout Tower, and, to a lesser extent, at the Sir James Morris Tower and Walk, the Lion’s Club Pavilion, the pedestrian arrival point at Ottawa and First Streets, and at a new small “forecourt” off Henry Street in front of the Legion (these are detailed further below in the Elements Description Section).

The hard-surface forecourts also help to make the Park more user-friendly in late Fall, Winter and early Spring, when inclement weather may reduce user comfort. The forecourts would be cleared and lit, made safe and comfortable for outdoor use year-round. It is expected that these courts would be focal points connected with the pathways; it is envisioned that during winter months, a future phase could make some of the principal pathways opened to winter use for snowshoeing, cross-country skiing or even skate-ways. The forecourts would make ideal stopping points to warm-up, congregate or otherwise celebrate the season at the Waterfront, just as they would act during warmer weather.



Figure 5 - Welcome Centre Forecourt

## 2.6. Water Access and “Window on the River”

The River, in many wonderful ways, is the essence of the community and of the Waterfront Park. It is the reason for being here in the first place, it is the feature. The Design Team sought ways to ensure that it remains that way, even through the provision of many other features and new facilities. The River is the reason why there is an observation tower proposed at the waterfront arrival point; in fact, the Lookout Tower is designed to create a “window on the river” in several ways: as one approaches it from the north, its ground floor actually frames a “window view” of the River; by helping people see from a higher vantage point, it allows them to see better views, more of the River; it also allows for special events to be emphasized through easily adding temporary signage banners or decorative elements on it, to support those events to be more visible, give “local flavour” and more closely associated with the River.

Accessing the water directly was another aspect the Design Team addressed. Improved access is handled through areas of amphitheatre-like seat-steps that cascade down to the water from the shore, allowing those who want to wade in or jump in directly, to do so easily and safely at these places, away from major boating zones.

As well, the Shoreline Promenade is enhanced and emphasized and the Province-wide Waterfront Trail brings cyclists down off of more northerly streets further from the water, to the actual waterfront.

The addition of finger docks and a future Fisher’s Wharf will also draw more people to the water’s edge and enjoy the River directly.



Figure 6 - ‘Window to the River’ at Look-Out Tower



Figure 7 - Water Access at Waterfront Shoreline

### 3. DESCRIPTIONS OF FEATURE ELEMENTS

#### 3.1. General

The Morrisburg Waterfront is already a great resource and a source of pride and amenity for the community. It provides for a wide range of activity from active water-sports to quiet nature contemplation. The design is intended to support and enhance this to make it an even better community resource and attract more visitors to its 50 acres. There are huge zones that are intended to “just be left alone” as open, grassy, non-programmed areas, as this is one of the key character elements that is worth preserving. Layered into that base are the “framework” pathway system and a series of “activity zones” that support a range of uses and enjoyment. These are grouped in order to maintain large open areas and almost continuous open views of the River.



Figure 8 - Existing Lions Club Pavilion

Within the “activity zones” are “feature elements”: some existing, some proposed new, that together make up a series of “moments” for enjoyable, memorable experiences and also for support of many community events and attractions. Some of these are generally described above as part of addressing key design principles. These will be more fully described in this section, and other proposed features are described here as well. The following is a general description of the recommended design concepts that would be developed further in the next design phase:

#### 3.2. The Morrisburg Arrival Sequence

The Welcome Banners re-invigorate Ottawa Street directly down to the Waterfront, creating a strong welcoming message, drawing people (community and visitors alike) to the Waterfront Park. They start at Highway #2 on the west side of the street and highlight the Municipal Hall and Arena before switching to the east side at the Waterfront Park and continue to the Lookout Tower that terminates the axis at the River. They contribute, along with a composition of new plantings, to the framing of the view to the River and mark the arrival point for the wider Waterfront Park facility and its main parking lot.

The banner poles are envisioned to be simple wood, “telephone pole” type structures that support galvanized steel brackets that hold the banners and allow for easy set-up and take-down/switch-out. This will provide for opportunity to change them seasonally and even have some that are specifically related to announcing special events at the Waterfront. The banners are weather-resistant synthetic fabrics that are custom-designed, each set being a different design but having in common, bright, joyful colours and messaging. Every pole or second pole is fitted with a simple galvanized metal pedestrian light fixture designed to harmonize with the simple vernacular, rural or nautical themes being used throughout the Park. These will cast light downward so as to limit the “over-lighting” of the Park. Likewise, carefully-designed very low-level lighting would be installed on other principal pathways, and key built features would be appropriately lit, to make the Park more comfortable and safer during the darkness of evenings, without overwhelming the Park with too much light or outward-shining “light pollution.”

The poles will be an exposed raw-wood, which nicely weathers over time to a silvery-grey that harmonizes with the galvanized fittings. The bottom portion of the poles, however, could optionally be painted in a simple manner, creating a common look at pedestrian and auto level that again ties into the overall themes, such as waves of water to symbolize the River. The painted bottoms and the seasonal/festival banners are seen as community projects (see Community Engagement below).

Taken as a whole, this series of simple interventions creates a welcoming, enlivening and memorable gateway to the Town and especially to the Waterfront.

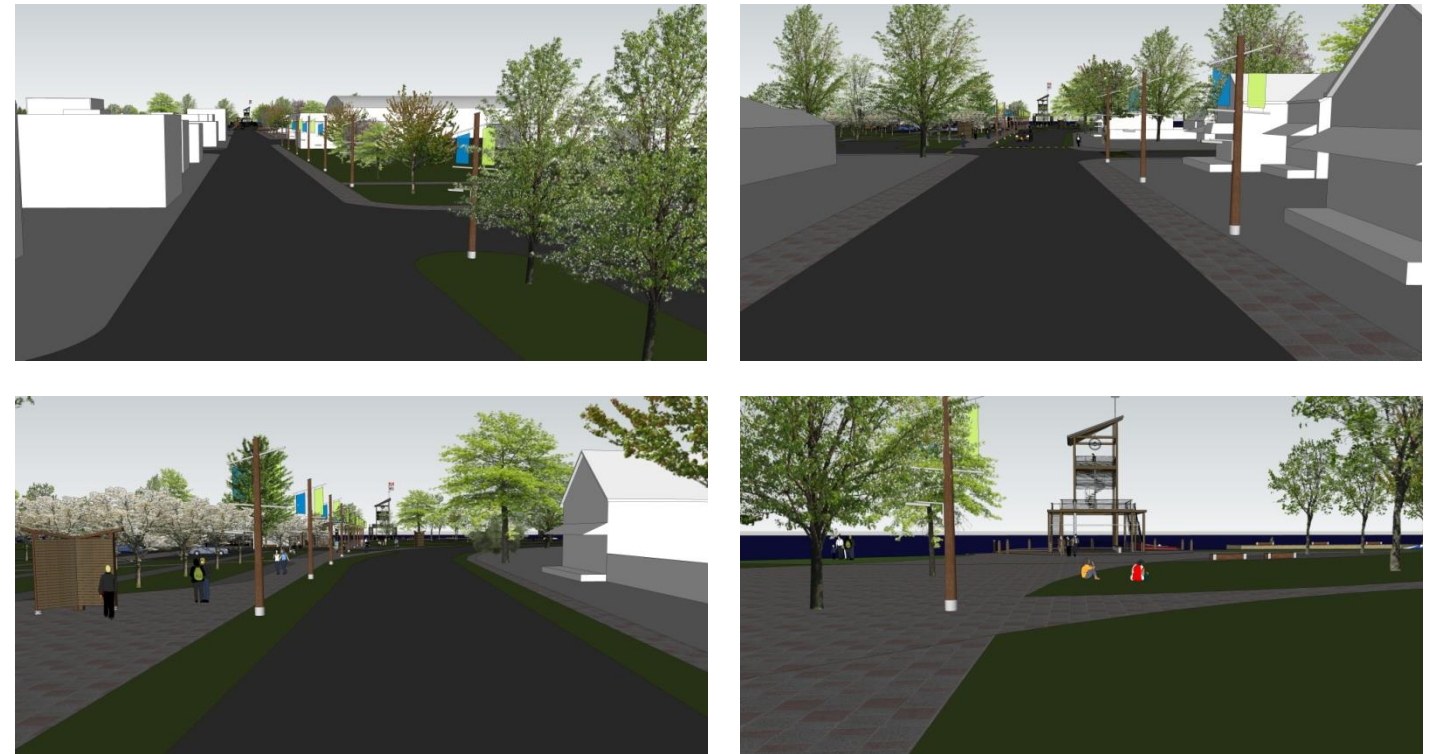


Figure 9 - Approximation Sequence along Ottawa Street

#### 3.3. The Morrisburg Welcome Centre

Upon arrival at the Waterfront Park, one is greeted by a bright and transparent Welcome Centre that serves residents and visitors alike. Vehicular access is easy and direct, right off Ottawa Street and adjacent to the facility. Pedestrians and cyclists also are drawn directly to the facility via the pathway system. As you arrive, you are greeted by one of the Park’s new Lock-Gate timber “sculptures” with identity signage and a forecourt with trees, gardens, benches, bicycle parking and an inviting, simple building with very visible doorways and identities. You are immediately struck by how transparent the building is, and how you can move through it, on top of it, or into one of its facilities. From the street, these are: the new “Morrisburg Visitor Centre”, the new “Docksyde Café” and the new “Comfort Station” containing washrooms, shower and change areas, all for both land and water visitors.

The Welcome Centre is located and designed to be expanded in future to accommodate additional recreational facilities such as support facilities for scuba, kayak, cycling and other leisure pursuits.



Figure 10 - Welcome Centre Access



Figure 11 - Morrisburg Visitor Centre - Interior View

### 3.4. The Orchard

Directly adjacent to the north of the Welcome Centre is a “Parking Orchard” which is simply a very convenient parking lot that is surrounded by a small grove of ornamental trees that are planted orchard-style in the grass. The selected species will have “open” foliage, lending a light, airy and transparent look. The center aisle is paved with pedestrian paving that leads directly to the Welcome Centre and its forecourt, and the rows of trees have stone dust paths between them to give a unique park experience and to encourage “permeability” of people walking into the Park from the north. This is all crossed by a curving pedestrian path that sweeps through the Orchard from the Legion, North Parking Lots and Commemorative Square to Ottawa Street and the Welcome Centre forecourt as well. This area is envisioned as a great public face to the Park from Ottawa Street, with its flowering trees and delightful arrangement that surrounds the parking, as well as a nice environment to stroll through between the north parking and the Launch, Waterfront Plaza and Welcome Centre.

#### Orchard Trees

Choices include:

- Upright decorative crab (malus);
- Cherry burgundy foliage (prunus).
- Other light-foliage species to be determined



Figure 12 - Orchard Examples

A Service Area that is accessible to delivery trucks, refuse trucks and maintenance equipment is tucked into the east side of the Welcome Centre.

### 3.5. Overall Buildings Character

As discussed above, built facilities are designed as “extensions of the Park”, transparent and integral. To achieve this, the design of the buildings is simple, with forecourt space, allows for walking easily through and even on top of them, uses generous amounts of glass and unenclosed areas and uses natural materials that are inherent to South Dundas such as stone, timber and wood, and “nautical” fittings such as galvanized metals, cables and trims. This also allows the cost to be lower as materials are easily available and assemblies are easy to construct. Flooring is simply the continued pedestrian paving from the forecourts, to give a further feel of “outdoors”. Roofs are wood frame, simple slopes and materials derived from the existing Lions Club Pavilion. The Pavilion has a “folded” gable end; the new buildings play off that with a “fold-up” roof that gestures toward the River. These buildings are in themselves types of “Windows on the River”.

All buildings, like the rest of the Park, are designed to meet universal accessibility codes.



Figure 13 - Welcome Centre Bird's-eye view

### 3.6. The Morrisburg Visitor Centre

The first thing one sees as one approaches from Lakeshore drive or Ottawa Street is the Visitor Centre, a highly visible and accessible facility that encourages tourists to learn more about Morrisburg and South Dundas, connecting them to businesses and facilities of interest. It is integrated into the Park landscape, and circulation is geared to flow right through it, so that visiting will feel part of the Waterfront Park experience. It is located to be visible and convenient, to encourage more visitors arriving by car, bicycle, boat or even on foot.

This Info Centre is equipped with displays, storage, seating, and a service counter that can serve customers inside or at an exterior wicket window.



Figure 14 - Visitor Centre



### 3.7. The New “Docksyde Café”

The success of the existing “Docksyde” snack bar trailer is carried forward with a similar take-out snack bar facility that is expanded to include an interior-exterior seating area, or Café, and with pick-up / order windows facing into the Café and outside facing the River. The size of the floor area shown in the concept allows for seating of up to 42 persons at tables. On very busy weekends and during festivals, additional café seating can be placed on the Plaza beside this restaurant, giving the Plaza an even more “sidewalk café” feel, as people take in the views, listen to the gurgle of the adjacent Locks Fountain, and relax and socialize. The Café has been designed so that it could start life as an open area and be glazed in at a later date, for cost flexibility.

A special feature of the café is its rooftop terrace which holds up to 60 more persons, offers great views and helps add to the Park’s experiences. This area (like the café itself) can be rented for receptions or other functions to generate income for the Municipality. Alternately, the terrace could be used as a band stage for shows and dances on the Plaza. The rooftop can be closed to use at any time by installing a gate at the bottom of the stairs.



Figure 15 - New “Docksyde Café” and Roof Top Terrace

### 3.8. The Waterfront Comfort Station

Across an open breezeway from the Café is a wall containing a drinking water fountain and basin for boaters to fill up their potable water jugs. Behind this privacy screen are the new washrooms and shower/change rooms. Besides the full male and female facilities, each washroom is equipped with space for baby-change table, two showers and utility and janitor closets. They are airy and well-lit with natural light from upper level privacy windows.



Figure 16 - Comfort Station

### 3.9. The Morrisburg Waterfront Plaza



Figure 17 - Morrisburg Waterfront Plaza – View from Roof Top Area

Immediately adjacent to the Boat Launch, the Welcome Centre, the Docks and the Shoreline Promenade is the key gathering point in the Park: The Waterfront Plaza. This pedestrian-paved surface provides about 1600 square meters of contiguous space right at the shore for a variety of uses, including gatherings of up to 900 or more people comfortably for gatherings and events. These would include options such as: better support for “Tubie Festival”, the “Renegade Bass Tournament ” and other existing traditional or new/future waterfront events; secondary markets space for seasonal or specialty markets such as antiques fairs; concerts, plays and films; presentations and ceremonies; educational events; historical or nature events, etc. It is flexible and adaptable space with open sunny areas, shady areas and a number of amenities, and connects several key facilities together. This space provides ideal opportunity and facilities to erect a temporary stage in front of the Lookout Tower when needed for these events. The Tower provides power, options for lighting, loudspeakers, and other temporary staging equipment. When not in special use, it is a place to “hang out” and relax, with a range of uses for a range of people’s interests, some benches and café tables and chairs to linger and enjoy the Waterfront.

The recommended materials for the Waterfront Plaza (and all hard-surface areas) is a combination of existing concrete (the pad at the shore next to the launch is recommended to remain), some stone dust surfaces and a field of simple pedestrian unit-pavers for ground. The paving stone is recommended to be standard plain finish, multidimensional promenade paver from Unilock or equivalent: Paving stone has advantages of better permeability and durability as opposed to poured in place and stamped concrete (Given the nature of the soil -fill- and proximity to the water -shifting-, poured in place concrete is not the recommended choice for use on this particular site). Unit pavers can also be used to edge the stone dust areas. Turf grass (especially near the water), native/ornamental grasses and a small number of simple shrub plantings (in bedded areas) as well as existing and new trees fill out the remaining landscape materials.

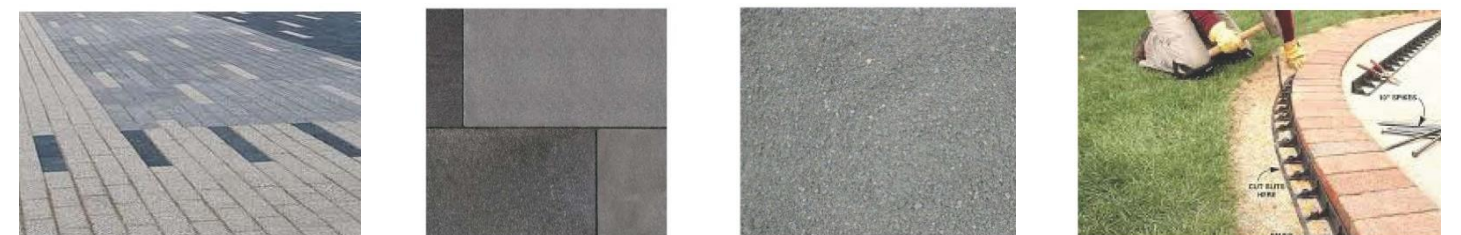


Figure 18 - Examples of unit pavers, unit paver detail, stone dust surface and construction of stone dust path with edge trim of unit pavers.



Figure 19 - Examples of ornamental grasses that can be planted near waterfronts. Native species are recommended.

Features of the Waterfront Plaza include low-cost large-timber benches with galvanized metal end-caps (simple materials that are currently used at the Dock), banner-poles with pedestrian down-lights, and a recommended small gurgling water-play-fountain, silently commemorating the old Morrisburg Locks and featuring one of the timber lock-gate sculptures, near the Café and Visitor Centre.

The Plaza also features the Morrisburg Lookout Tower and a slightly relocated existing Lion’s Club Pavilion. Together with the Welcome Centre, the Plaza is surrounded by a composition of these three buildings, all of which, through similar materials (heavy timbers, asphalt shingles, steel fittings), relatable dimensions (related roof heights for example) and multi-slope roofs have a relationship to each other to form this harmonized suite of facilities.

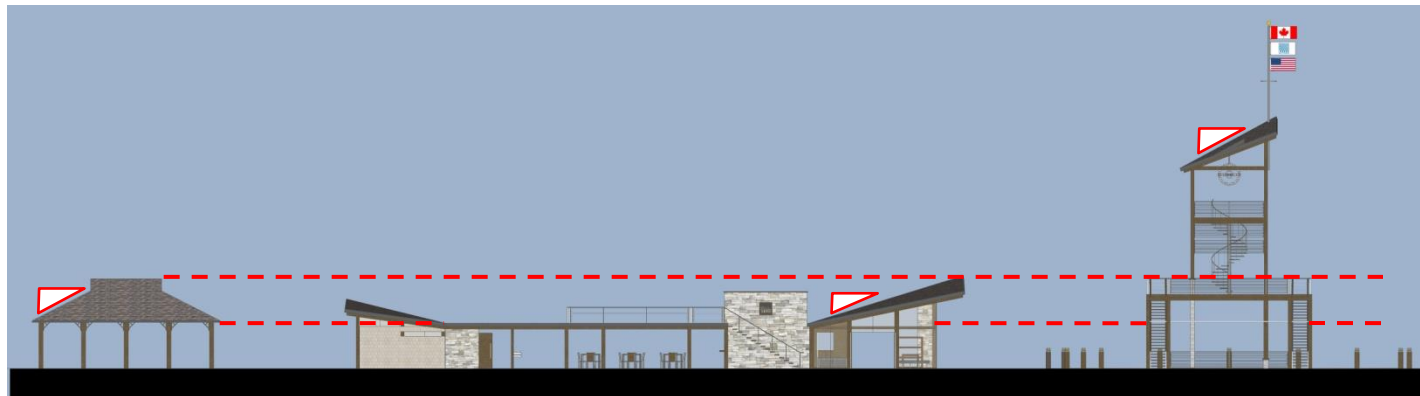


Figure 20 - Buildings’ Composition: Scale, Slopes and Materials

### 3.10. The Morrisburg Lookout Tower

The Tower is intended to be a recognizable landmark and special Park amenity that is seen from far on both water (i.e. boaters) and land. It is the strongest visual symbol that helps give the Park its identity. It is transparent and open and could be used during four seasons. The Tower is meant to be an “interactive” facility where people “take ownership” of it through involvement with it, whether it be through ascending the stairs to get increasingly better views or through it being the focus spot for events. It is perched at the edge of the water, giving a thrilling experience for those who use it. The Tower is a simple structure, built with heavy timbers, stone walling, asphalt shingle roofing and galvanized steel fittings, railings and fixtures. It features a built-in bench and sponsor wall (which could also be used for identification/interpretation) on the ground floor, a built-in service counter on the second floor and a treasured Town artifact or interpretive sculpture hanging at the top floor (it is illustrated herein with a hardened steel sculpture of two lock station gear wheels as a placeholder for this feature).



Figure 21 - Night View: Look-out Tower from Dock

It is topped with a flagpole and a ring of lights pointing on those flags, and is lighted internally so that the structure, particularly the folded-up portion of roof facing the River, will “glow” like a soft beacon at night. In the water around its south side is a boating safety ring, which is outfitted with LED lights that provide a “water glow” at the Tower base. It is intended to be well-used during festive events, where it’s flexible and open layout can support various temporary add-ons and modifications, such as rigging speakers or banners to it.

The Tower is intended to give a focal point to the Waterfront Plaza, Boat Dock and the entire Park. It will over time become a Town symbol on the River that will be familiar to residents and a landmark for tourists. It is in many ways truly a “window on the river”.



Figure 22 - Look-out Tower showing upper levels and steel sculpture

### 3.11. The Morrisburg Boat Launch & Docks

The Launch and Docks are well-used and loved existing facilities that are preserved as-is and will continue to function accordingly. The Dock is given 6 new two-sided timber-type benches, and new way-finding, use rules and interpretive signage at the shoreline. The existing two-lane Launch is given a re-aligned parking lot that will continue to accommodate some trucks and boat-trailers, with busy use times accommodating extra truck and trailer parking in the north lot on Legion Street. The walk back to the Launch from this north lot is short and interesting. The entry and exit driveways are now one-way to increase safety. There is room in the Launch parking lot also for truck and trailer manoeuvring, as well as some undesignated space at waters edge to accommodate short-term vehicle parking for gazing out over the River.

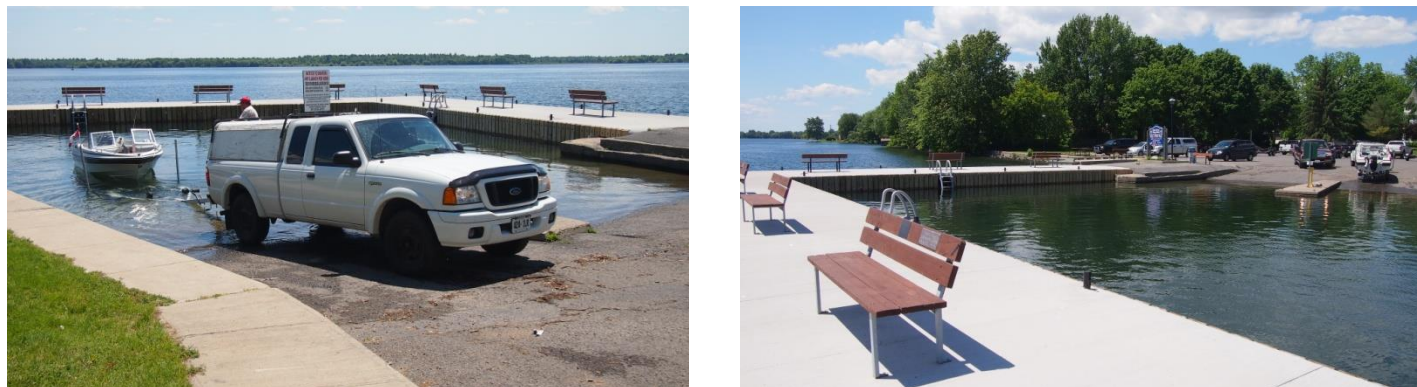


Figure 23 - Existing Boat Launch and Dock.

Added to this facility and located nearby are the new Finger Docks which allow small craft to dock right at the Lion's Club Pavilion, the Waterfront Plaza, and a short stroll to the Welcome Centre and washrooms. The Finger Dock layout allows for future expansion. There is also potential opportunity to expand Finger Docks off of the concrete dock in the future. This suite of facilities is designed to work together to support growing boat use, while accommodating non-boaters as well.

### 3.12. The Morrisburg Shoreline Promenade, Shore Remediation and Park Paths

The existing popular waterfront path is maintained and enhanced. This "Shoreline Promenade" has a pedestrian-only (and bike-walkers) portion near the Plaza area, and then is joined by the Provincial Waterfront Trail bicycle path at the James Morris Walk area where it becomes a multi-use path as one heads east from there, to and past the Beach. The suggested modest improvements to this amenity include coordinated site furnishings such as garbage/recycling bins, low-level bollard-lights and benches and of course the Tower Follies.

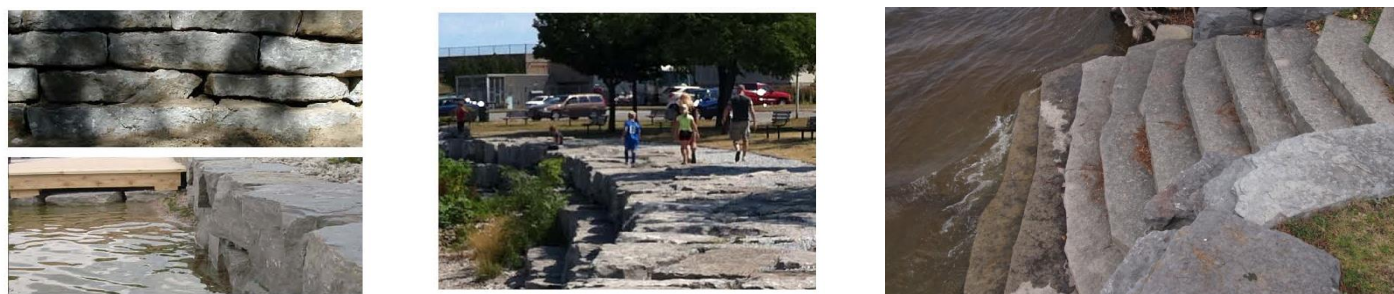


Figure 24 - Examples of shoreline use of stone revetments, including step-down types.

The pathway circulation system has been carefully designed to support the way people will move through the Park (whether by foot, bicycle, skateboard, wheelchair, stroller, etc.), and to conveniently connect the various facilities and features. Most of the paths are inexpensive but very serviceable and permeable stone-dust, with key walkways paved in pedestrian-scale unit pavers. Unsustainable asphalt is eliminated over time as paths are constructed.

Shoreline remediation to provide additional control for ground stability and against potential future wave-action and ice-action erosion is recommended by the design team's Coastal Engineers. Their preferred solution is an upgrade to the existing rip-rap stone to create a "rubble mound revetment" with select "armour stone". However, it is advised that this added protection only be implemented after other shore-area improvements are complete and most importantly, after a more thorough engineering analysis is undertaken with shoreline and near-shore survey data.

The concept design includes two types of this armour stone – one regular random and another geometrically aligned to allow for direct access, via amphitheatre-type steps, to the water. This overall revetment improvement cost has been generally estimated (it is significant) and included in the Class "D" estimate attached. However, if there is limited funding available, or if the performance of the existing revetment is determined to be adequate after the further recommended analysis, then the proposed revised shoreline design section could be modified or only implemented at select locations.

### 3.13. The Sir James Morris Walk & Tower

The Sir James Morris Walk starts at Canada Way (the end of Sir James Morris Drive) where one finds a landscaped node or meeting point that is provided with way-finding, interpretive and/or other signage and/or public art. This encourages use of the street up to and down from the Plaza. As one walks south from this point, on axis with Sir James Morris Drive, the path is shaded by a double row of deciduous trees, which will eventually form a continuous overhead canopy. Adjacent to this path is one side of the relocated baseball diamond, with direct access to it. Street trees and those of Sir James Morris Walk should be predominately red maple, ash and elm with some willow on waterfront.



Figure 25 - Examples of native species including those with Fall colour and willows near the shore.

The Walk culminates at the shore with a small forecourt to the Sir James Morris (SJM) Tower, the middle of the three Waterfront Follies. This Tower is much smaller than the Lookout Tower, but is derived from its simple design and materials. However, there is a more of a complementary "layer" of nautical elements that speak to the River, its passing ships and the old Morrisburg Locks. At this Folly is housed the key interpretive panels on the Locks, which are located off shore directly in front of it, although submerged now. This Tower will also be, like the Lookout Tower, both a figurative and literal "Window on the River".

### 3.14. The Baseball Diamond

The design concept calls for relocating the existing baseball diamond with night lighting to the east, but still within very easy distance of parking lots. This will require re-construction of the diamond, relocation of the large light standards and remediation of the landscape for the 3 existing baseball diamonds that will be discontinued. It should be noted that the baseball diamond shown on the plan includes dugouts and bleachers. It is expected that they would be built in the future, but after Phase One construction, so dugouts and bleachers cost has not been included at this time.

### 3.15. The Fisher’s Wharf & Tower

Like the SJM Tower, the Fisher’s Wharf Tower is the next in the series of Waterfront Follies, and derives some of its architecture from the simple construction and materials of the Lookout Tower. However, this Folly has an even more nautical theme to its construct, and will take on a more “manufactured” feel like that of the navigational buoys in the Seaway. At this smallest Tower is housed the key interpretive panels on the Eco-systems of the St. Lawrence Valley, a proposed nature and sustainability education program.

The Tower opens to the Fisher’s Wharf, which is an extension of an old wharf foundation currently existing at that location. The design of this feature is in the mandate for Phase Two.

### 3.16. The Morrisburg Commemoration Square

A great complementary resource to the Park is the Legion, on the north side on Legion Street. The Legion events and activities can be easily coordinated with Park activities and facilities. The design provides more pleasant, direct and convenient access across Henry and Legion Streets into the Park for pedestrians, wheelchairs, walkers and the like. Upon arrival across those streets, one arrives at a “forecourt” to the Waterfront Park, called Commemoration Square. Here the truly excellent stone memorials that currently exist near the water are relocated to give them more space and prominence to be appreciated. With surrounding garden and benches ringing the Square, the War Memorial has pride of place, opportunity to rest and contemplate and, due to the size of the Square, could accommodate up to 150 people comfortably, and provide opportunity for memorial and other events right at this location bedside the War Memorial and near the Legion. (Note: alternate existing location is illustrated separately).



Figure 26 - Commemoration Square view



Figure 27 - Commemoration Square showing connection and proximity to Legion Building



Figure 28- Commemoration Square view

### 3.17. Earl Baker Park West

Earl Baker Park is essentially part of Phase Two and, like the entire east half of the Waterfront park, has only been designed in very broad terms for the Phase One project, in order to ensure overall harmony for the entire park when both Phases are complete in the future. The west side of Earl Baker could be said to be part of Phase One due to its immediate adjacency, so slightly more detail in this west area has been articulated for Phase One. This development is expected to be improving upon – not replacing – what is already there. Some of this development could be done in association with Phase One if desired – the Municipality and community will make these decisions, based upon funding availability, timing and other factors. The following are brief descriptions of some of the features of this part of the Park:

#### The Gardens

The Gardens area supports and enhances the existing community-created gardens at this location and expands them to more fully integrate them into the southern portion of the Park, to complement increased street parking and the concept of improving the experience of moving between the Park and the Plaza at Highway #2. The expansion of these Gardens may include Rain Gardens for sustainability. Rain Gardens are recommended but an entire horticultural and land drainage review is recommended prior to establishing the final locations and sizes for Rain Gardens. This report includes a brief introduction to Rain Gardens and their benefits.

Rain Gardens can also be a component part of the Nature/Eco-Systems/Sustainability Interpretive program; please refer to that section below. All garden projects proposed are expected to be part of the “community initiatives” that help create the revitalized Morrisburg Waterfront Park; please refer to that section below.



Figure 29 - Earl Baker Park and Existing Community Gardens



### The Splash Pad

A Splash Pad project has been in the works for this area of the Park and this Splash Pad shown on the Site Plan is intended to simply show the recommended location for this new facility, how it integrates with the surrounding playground facilities and pathway system, and approximately the area it is expected to be when that project design is brought forward by others.



Figure 30 - Splash Pad Example

### The Younger Kids Playground and Victorian Playhouse

The Younger Kids Playground is situated on the north side of the alley that accesses the playground area from the newly-landscaped Sir James Morris Drive and its recommended improved street parking. It is designed by others and the Phase One design simply illustrates how it is located and incorporated into the whole, and how it would relate to the Splash Pad location and the Victorian Playhouse location, as these three elements form a “suite” of activity areas for younger children.

The Victorian Playhouse is seen as another community-created project through service club and/or citizen participation. The playhouse would be a half-scale replica of a representative beautiful Victorian-era mansion in Morrisburg, possibly one that was lost in the Seaway project. The idea is to both educate (it would become part of the Heritage Interpretation Program, and a location for one of those plaque stations, especially to highlight and educate about the large rapid growth and development of Morrisburg in the Victorian era) and to entertain children, who eternally adore playhouses. Being half-scale, it would be difficult for larger people to use (signage would age-limit the users anyway) and it would be a delightful size for smaller children to “occupy” and physically play in. The Playhouse is intended to complement the Younger Kids Playground and Splashpad, which together make this both a significant community children’s amenity and a significant tourist attraction as well.

### The Older Kids Playground

The Older Kids Playground is situated on the south side of the alley that accesses the playground area from Sir James Morris Drive and its parking. It is designed by others and the Phase One design simply illustrates how it is located and incorporated into the whole.

## 3.18. Other Waterfront Park Landscapes

### The Meadow

The Meadow is intended to complement The Orchard and The Commemoration Square (which are adjacent to it and partially “enclose” it), by being a simple open grassed area that mostly provides existing relief open space and a good convenient location for a major temporary Event Tent when needed for special events. It can easily accommodate a large 18 m x 36 m tent which serves up to 540 persons, depending on layout and function. The Circulation Plan illustrates the two locations for truck access directly to The Meadow and The Field to accommodate set-up & tear-down for special events.

### The Field & The Woodlands

The Field complements The Meadow by expanding out the turf grass open space to the next level of openness. It provides additional turf space for special events but otherwise simply maintains great open views to the River. It is bordered by the provincial Waterfront Trail and is also partially enclosed, by The Sir James Morris Walk and the Woodlands. The Woodlands (together with the tree plantings along the SJM Walk) provide a great critical mass of new

plantings, at a location that does not significantly impede views, that gives the Park some more much-needed trees without taking away that it is really a large open space.

These trees will make up a native Great Lakes-St. Lawrence forest which contains black walnut, tulip, magnolia, black gum, many types of oaks, hickories, sassafras and red bud. It is envisioned that the planting of these seedling trees would be part of the community engagement program and the Nature/Eco-System/Sustainability Interpretive program, and could be part of a local educational program for school children. Service Clubs, school boards and South Nations are possible participants.

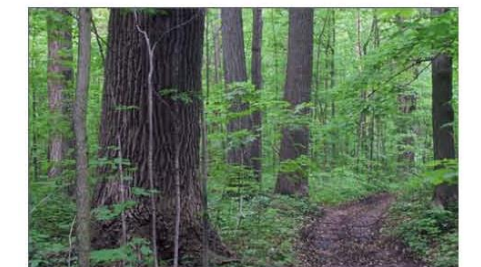


Figure 31 - A future butternut grove is envisioned to be located outside Phase One - near the Dog Run and in Earl Baker Park. This will be addressed in Phase 2.



A future butternut grove is envisioned to be located outside Phase One - near the Dog Run and in Earl Baker Park (by others). This will be addressed in Phase 2.

### The Grassland

The Grassland is essentially part of Phase Two. It is intended to be maintained as a large open turf grass space, the third and largest in the series of these starting with the Meadow and the Field. It incorporates the Baseball Diamond (see above).

### The Grove

There is a particular “set” of existing trees behind the existing Docksyde trailer that form The Grove. This is an excellent resource to be maintained and protected as it forms a very special place to walk through or be in.



Figure 32 - Existing Grove



Figure 33 - Existing Grove framing the view towards the Waterfront Plaza

## Phase Two Lands

As discussed, Phase Two is a separate design project. The intent of Phase One was to ensure the continuity of the Phase One Concept with the rest (east side) of the Park. Therefore the Site Map shows the continuation of the “flowing” path system to support existing features such as the Beach, the Dog Park and the Amphitheatre and to complete the character of the Waterfront Park as a wonderful ambulatory experience and a combination of enhancing what is there and carefully adding a layer of new amenity for the benefit of residents and tourists alike.

It is envisioned that the Phase Two concept will complete the three Follies with the Fisher’s Tower (and Wharf), maintain a beach and improved Beachhouse, connect with the lands further east, maintain or enhance the Cruikshank Amphitheatre, follow through on any shoreline improvements suggested and harmonize generally with Phase One.

### 3.19. Community and Identity Elements

#### Lock-gate Timber “Sculptures”

This family of sculptural elements are positioned in a number of key locations throughout the Park to give identity, continuity and to provide assistance to park users. They are creatively based upon the timber lock-gates of the old Morrisburg Locks. They will support any number of needs and uses, including but not limited to the Signage/Way-finding Program, the Heritage Interpretation Program, the Natural Eco-systems Interpretation Program and the Rules & Regulations for Use Postings.



Figure 34 - Examples of Historic Lock-gates

The Sculptures are designed to adapt to these different needs, but all have the same basic timber framework and galvanized steel hardware to provide overall continuity that references themes authentic to Morrisburg. Examples of adapting them would be having more or less face-timbers to support the signage needs: either ground to top, or less, depending on which function they are performing at the given location.



Figure 35 - Lock-gate “Sculptures” showing possible modifications

One aspect of their use is to serve as a welcoming element to the Park, at all major entry points. For example, the first one that one sees when going south down Ottawa Street toward the water is at First/Legion/Ottawa intersection which welcomes you to the place and provides quick info on parking and key feature locations including Welcome Centre and Launch.

While they must be coordinated with the various programs of signage and interpretation, there is opportunity to have a couple of them to stand just as timber sculptures on their own, such as at the “Locks Fountain” in the Waterfront Plaza.

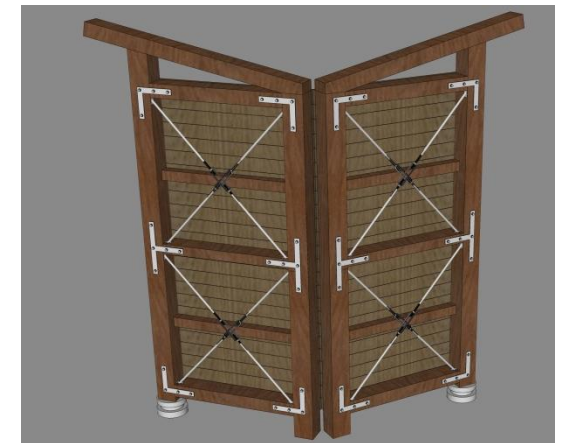


Figure 36 - Lock-gate “Sculpture” - Back View

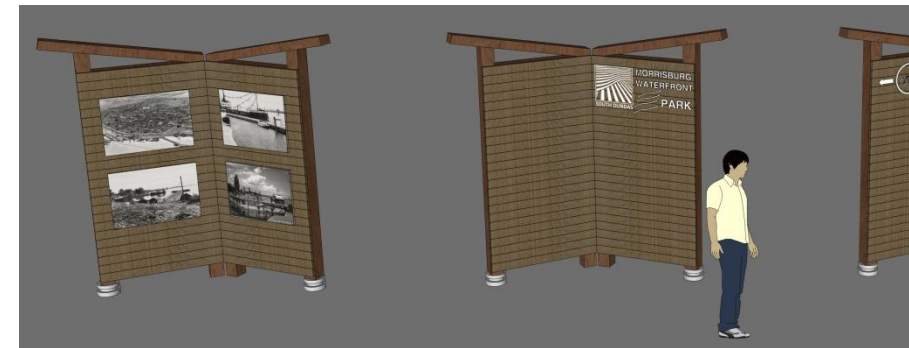


Figure 37 - Lock-gate “Sculptures” showing different uses: Historic Information, Area Identification, Wayfinding, Sponsor wall...

#### Signage/Way-finding Program

There is a requirement for a design project for an overall Signage & Way-finding Program that addresses all Park signage; including a portion that harmonizes with the Lock-gate sculptures and many other signage elements, including all traffic and roadway signs that must conform to provincial and/or county regulation.

#### Heritage Interpretation Program

The Heritage Interpretation Program is considered an important part of the Waterfront Park to add a dimension of education and enjoyment that helps tell the story of Morrisburg. This will be great for all residents, but especially for those who do not know about Morrisburg’s significant history as well as school children and tourists. In fact, as part of the Cultural Tourism strategy for economic development, this Interpretive Program is essential. There is a requirement for a research and design project for an overall approach, design development of the physical elements and integration with the Phase One Concept, and another project for execution of same. It is envisioned that community engagement can be a strong aspect of this program.

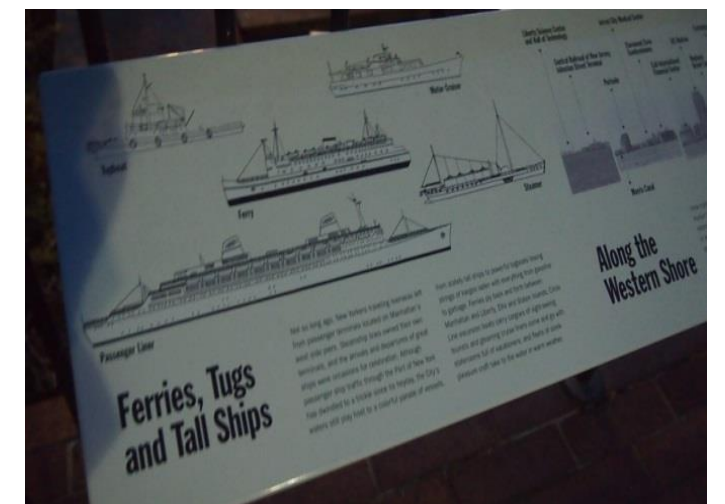


Figure 38 - Example of an Interpretive Program panel. Vandal-resistant and clear, simple design.

## Natural Eco-systems Interpretation Program

The Natural Eco-systems Interpretation Program is also considered a useful part of the Waterfront Park, to add another dimension of education and enjoyment, but one that also helps to communicate the value of sustainability and sustainable practices for all. There is also a requirement for a research and design project for an overall approach, design development of the physical elements and integration with the Phase One Concept, and another project for execution of same. It is envisioned that community engagement can be a strong aspect of this program as well.

## Site Furnishings Program

A coordinated “palette” of site features, furnishings and fixtures is envisioned to be layered into the design to complement, enhance and make more functional the base elements described above. These are for the most part described above and listed in the cost estimate.

One feature of the simple heavy timber benches is that they are vandalism-resistant and also provide opportunity for sponsorship through “tagging” of the metal end-caps. Another feature that is recommended to be developed further in the next design phase is the incorporation of “accessories” such as elements that discourage long-term sleeping or skateboarding on them, and bench-backs that can be added at strategic locations, allowing both two-sided viewing as well as back-support for those who need it.



Figure 39 - Site Furnishing Examples



Figure 40 - Proposed Timber Bench with sponsorship plates at metal end-caps.



Figure 41 - Example of an Interpretive Program and/or Sponsorship Program designed to integrate into ground surface materials.

## 4. COMMUNITY ENGAGEMENT

The design envisions that a number of the component “sub-projects” for the Waterfront Park can be led by Community coalitions, either citizen groups or service clubs. For example, to name a few that are envisioned at this time:

- Gardens construction and planting by the community;
- School Tree-planting program;
- Heritage Interpretive Program administration and/or design and/or execution;
- Nature Interpretive Program administration and/or design and/or execution;
- Relocation of Lions Pavilion;
- Designation and Creation of a memorial space;
- “Barn Raising” of one or more architectural element;
- Timber Lock-Gates Sculptures;
- Ottawa Street Seasonal/Festival Banners administration &/or design &/or execution;
- And many other options.

These initiatives would encourage community participation in their own Waterfront Revitalization, taking pride and ownership in Morrisburg and throughout South Dundas. As well, educational, skills development and social benefits can be provided by these initiatives.

## 5. PHASING & IMPLEMENTATION STRATEGIES

### Phase One & Phase Two

Phase One outlines only general design intent for Phase Two, which will be a future, separate project. During Design Development of Phase One, it may be determined that some expected Phase two infrastructure or utilities (such as an underground electrical service or drainage) or other aspects, may be more logical to install as part of Phase One. This report and estimate do not anticipate that at this time.

### Sequencing of Phase One

- Undertake “Next Steps” such as those outlined below, in a logical order that suits the Municipality’s interests and budgets;
- Undertake Civil (drainage & utilities), Roads, Parking, Pathways works, and temporary facilities requirements;
- Undertake Shoreline Treatments as recommended by the Coastal Engineers – these should be reviewed and discussed by the community. This would be done after the marine engineering and detailed shoreline assessment study (listed in next steps below) is complete. At the least, water access elements and marine foundations for architectural elements should be considered as a first phase. At this review, discussion about any possible boat launch and/or dock upgrades should be included;
- Undertake Architectural Works;
- Undertake Landscape, Site Features and Furnishings Works.

## 6. ORDER OF MAGNITUDE COSTING & FINANCING STRATEGIES

### 6.1. Preliminary Costing:

A preliminary order-of-magnitude cost estimate has been undertaken by the Design Team. The breakdown is in the Appendices. A summary is as follows:

Civil Engineering Works	\$ 495,212.03
Coastal Engineering Works	\$1,116,144.00
Roads, Parking, Paths Engineering Works	\$2,194,491.00
Landscape Works	\$ 673,495.20
Architectural Works	\$ 932,218.75
Site Features & Furnishings	\$ 214,705.00
<hr/>	
Subtotal, Hard Costs	\$5,701,281.45
Design & Construction Contingencies	\$1,838,663.55
<hr/>	
<b>Total, Hard Costs Preliminary Estimate</b>	<b>\$7,440,737.91</b>

#### Soft Costs

The estimate outlines a range of expected soft costs that would be expected with the project such as project management, consultants, permits, taxes, etc. These are excluded at this time until Design Development identifies a more precise scope for these soft costs.

#### Notes related to the estimates

- Seismic or other structural, designated substances, existing mechanical/electrical or other investigations and upgrades, including intrusive studies.
- All costs are priced in 2013 dollars with potential escalation to start-up excluded.
- The following items are general comments and specific assumptions made:
- The estimates are Order of Magnitude with an accuracy factor of +/-25%.
- The risk allowance includes potential unknown factors and market pricing variations.
- The estimates are based upon drawings by MTBA dated Nov. 29, 2013.
- Estimates assume that work will be competitively bid by a minimum of three complete and competent, qualified bidders, as a single package, in a single phase. Phasing will impact portional costing.
- "OH/P" refers to the Contractors General Requirements and Fees (overhead and profit).
- Project management and review includes all aspects such as construction reviews, communication and co-ordination, waste management, contract administrations, approvals, etc.
- Consulting fees to prepare design development and technical contract documents (drawings and specifications) and provide site review and contract administration during construction are expected to be in the 17% to 29% range of hard costs, based upon one contract (Architect Prime plus sub-consultants for Structural, Mechanical, Electrical, Landscape, Civil, Coastal, and Traffic Engineering) and excluding for signage, art & interpretive programs, geotechnical, survey, fundraising, custom specialties or any other required sub-consultants. This range will depend upon the actual final scope.

### 6.2. Cost Savings & Finance Strategies:

#### Granting Programs

A number of component items are provided as allowances where unique situations exist. A number of items are based upon recent examples in Eastern Ontario. Many costs will be able to be financed through grants such as those outlined in the Pre-feasibility Report.

A number of the site fixtures, features and furnishings components for example could be eligible for grants as discussed in the Pre-feasibility Report. For just one example:

#### Morrisburg Interpretive Program & Costs - Heritage

Modelled on a similar initiative recently undertaken in Ottawa (St. Joseph Blvd. in Orleans):

- \$38,000 from grants by Historic Ottawa Development Inc. (HODI, Mark Brandt, Past President) and the local BIA for 22 plaques/stands – approximately \$1,800 each plus design, equalling about \$2,000 to \$2,500 per plaque hard cost.
  - \$25,000 from a grant from Trillium Foundation for project research and publication of a booklet containing the information required to design the plaques, equalling about \$1,000 per plaque soft cost.
  - Community volunteers and a small amount of Municipal staff time handled project administration and management, grant applications, community awareness and fundraising. Cost for this equalled \$0.
  - Total cost per heritage interpretation plaque/sign: approximately **\$3,500**
- |                                    |             |
|------------------------------------|-------------|
| <u>Total cost to Municipality:</u> | <b>\$ 0</b> |
|------------------------------------|-------------|

#### Community Forces

It is expected, as described above, that service clubs, local individuals, school and other groups could participate in the administration and/or design and/or execution of portions of the Phase One project. As well as other community benefits, significant cost savings can be provided by these initiatives.



Figure 42 - Community gathering at Lions Club Pavilion



## 7. ALTERNATIVES & OPTIONS

### 7.1. Gateway Element

An additional optional gateway element is shown in a separate illustration, where tall lodgepoles are erected to mark the specific “main point of entry” to the Park facility, at the parking lot at First/Henry and Ottawa Street. These poles are meant to further frame the “arrival sequence” and as well provide opportunity to hang a temporary celebratory signage banner across and well above the street, announcing (and forming an additional welcoming “gate” for those arriving for) special events when they are held on the Waterfront.



Figure 43 - Optional Gateway Element

### 7.2. Alternate War Memorial Location

An alternate option for the War Memorial location, in its existing position, is shown in a separate illustration. This location is in the middle of the Waterfront Plaza as designed. This is feasible and would save a small amount of funds but does not give elevated respect to this important historic memorial. What is recommended is the Designation and Creation of a Memorial Space, Commemoration Square that in our view is more respectful.



Figure 44- Alternate War Memorial Location at Waterfront Plaza

### 7.3. Alternate Welcome Centre

An alternate architectural “palette” for the Welcome Centre is shown in a separate illustration. Not recommended.

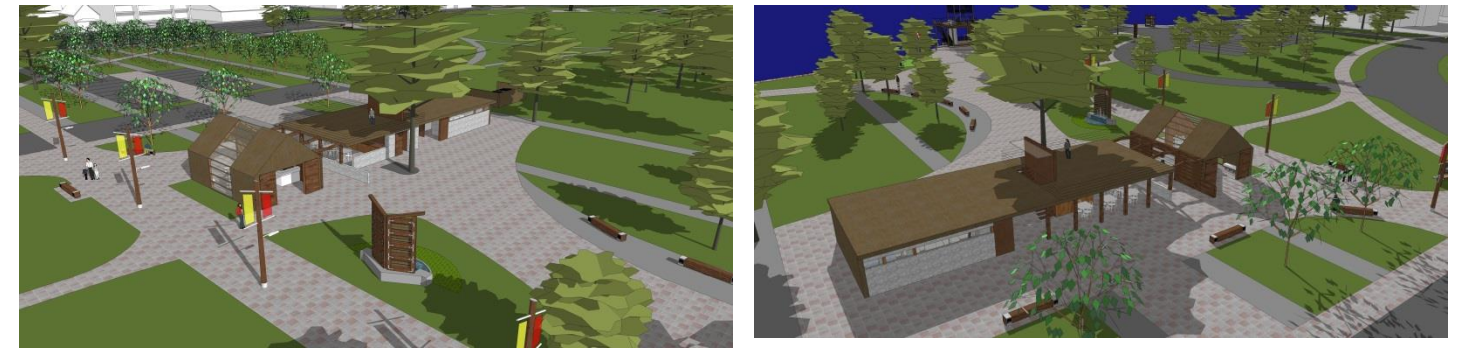


Figure 45- Alternate Welcome Centre

### 7.4. “Heritage Interpretation”: Morrisburg Locks

An image for a design concept for an additional feature option for more “heritage interpretation” of the Morrisburg Locks located west of the Sir James Morris Tower, is shown as a separate illustration and plan. If this type of landscape/artistic installation were desired, we suggest this would be a later addition for a longer-term program.



Figure 46 - Example of interpretive installation commemorating historic locks.

## 8. NEXT STEPS

Next steps include both cost-based and community-based initiatives. Generally, the type of initiatives that the Municipality should be preparing to complete as the next steps for the Morrisburg Waterfront Phase One, include but are not limited to:

### 8.1. Community-based steps:

- A. Establishing a “Champion” (individual or group or the existing MW Committee) to promote the plans in the community;
- B. Fundraising & Grant Applications;
- C. Preliminary Authorities Approvals - potentially including but not limited to: MOE, RRCA, MTO, MNR, County, Seaway, Site Plan and Infrastructure Permits, etc. Final approvals when contract documents are complete will then be required later.
- D. Community Organization – to take the concept proposal to the community for input and then organize/initiate community projects to execute/build some portions of the proposed concept project by citizens and service clubs;
- E. Preliminary Parallel Planning, such as but not limited to: Business Plans for Grant Applications and Community Planning, Historic/Commemorative Interpretation Program, Signage & Way-finding Program, Public Art Program, Travel, Tourism and Communications Programs, facility Shut-down, Change-over and Renewal Program, baseball diamond relocation, etc. This preliminary planning by the community will help to define the challenges and will eventually lead to retention of consultants to complete.
- F. Community Recreational Needs Review;
- G. Preliminary Construction and Implementation Strategy that allows for maximum Park public use and public safety during the estimated 2 to 3 years of execution of the Phase One project. This would include which current facilities remain open and accessible during which parts of the execution period and should be planned carefully to minimize disruption to traditional community festivals and special events. A construction management and scheduling specialist is recommended, but the community could initiate the process and define the challenges;
- H. Any of the Community Engagement initiatives outlined in Section 4 above.

### 8.2. Cost-based steps:

- A. Additional Studies and Reports – potentially including but not limited to: surveys, roads & traffic engineering (including traffic counts at key intersections and other studies), geotechnical and marine engineering (including detailed shoreline assessment), archaeology, storm water management and environmental, tree inventory and condition report, possibly others;
- B. Design Development Plans by Consultants – including architectural, structural, mechanical & electrical, civil & traffic, landscape, coastal, costing, etc. – possibly more, based upon the final phasing plan or community plan, plus Council Approvals on final design;
- C. Technical Tender Documents by Consultants for any portions to proceed to full execution – including same disciplines listed above – specifications and working drawings;
- D. Tendering to Contractors or Community Forces for any portions to proceed to full execution;
- E. Construction, including Consultant Review & Contract Administration for any portions to proceed to full execution;

PLEASE REFER TO THE COMPANION VOLUME 2 – APPENDICES FOR MORE INFORMATION.  
REFER ALSO TO THE PRE-FEASIBILITY REPORT IF THIS PROJECT FOR MORE INFORMATION